

DESIGN REVIEW PERMIT INSTRUCTIONS FOR APPLICANTS

Criteria for Design Review Permit

Within any Design Review Combining (D) District, a Design Review Permit must be secured before any structure may be erected, structurally altered or changed in character or appearance. This includes exterior remodeling, attached and detached signs, and similar structures. The permit will specify in detail the type and amount of said alterations or changes proposed.

Six (6) areas in Tuolumne County have "D" districts and Design Review Committees or Area Planning Commissions with jurisdiction over them. These are:

Jamestown
Twain Harte
Columbia
Tuolumne City
Phoenix Lake Country Club Estates
Muller Subdivision

Members of these Committees and Commissions are appointed by the Board of Supervisors.

The Twain Harte and Tuolumne Committees and Jamestown and Columbia Area Planning Commissions meet on a set day once a month and the other three committees arrange to meet whenever an application is sent to them. The Planning Department has booklets of architectural guidelines on file that were prepared for the Jamestown, Columbia and Twain Harte communities to assist applicants in choosing a design that is compatible in those areas.

Application Review Process

An application for a Design Review Permit is submitted to the Planning Department or Building Department (not to the Design Review Committee) accompanied by a site plan and other items as detailed on the attached sheet. The Planning Director may require any additional information deemed necessary for evaluation of the project.

Upon acceptance of a complete application for a Design Review Permit, the Planning Department or Building Department shall refer it to the appropriate Committee or Commission. In reviewing the application, the Committee or Commission shall consider that the design of the proposed development conforms to all applicable architectural guidelines adopted for the area; they may suggest conditions or changes in the plans. A recommendation to approve or deny the permit shall be made by the Design Review Committee within thirty days of receipt of a completed application. The Area Planning Commissions have the authority to approve, conditionally approve or deny the permit.

Upon receipt of the recommendations of the Committee, the Planning Director shall approve, conditionally approve, or deny the permit. Any application for a Design Review Permit shall be deemed approved if the Director fails to make a decision within forty-five calendar days from the date the application was accepted as complete and if said permit otherwise conforms to applicable State Laws and County Ordinances.

No building permits shall be issued for structures in "D" districts for which a Design Review Permit has not been approved.

Expiration of Permit

If the change in the use of land or buildings for which a Design Review Permit is granted is not begun within three years of the date of final approval, the Design Review Permit shall expire and be of no further effect. Three one-year extensions may be granted by the Director upon written request of the applicant if made prior to the previous expiration date. The Design Review Permit may be revoked by the Planning Director if the proposal and conditions are not carried out as approved.

**DESIGN REVIEW PERMIT
REQUIRED SUBMITTALS AND INFORMATION**

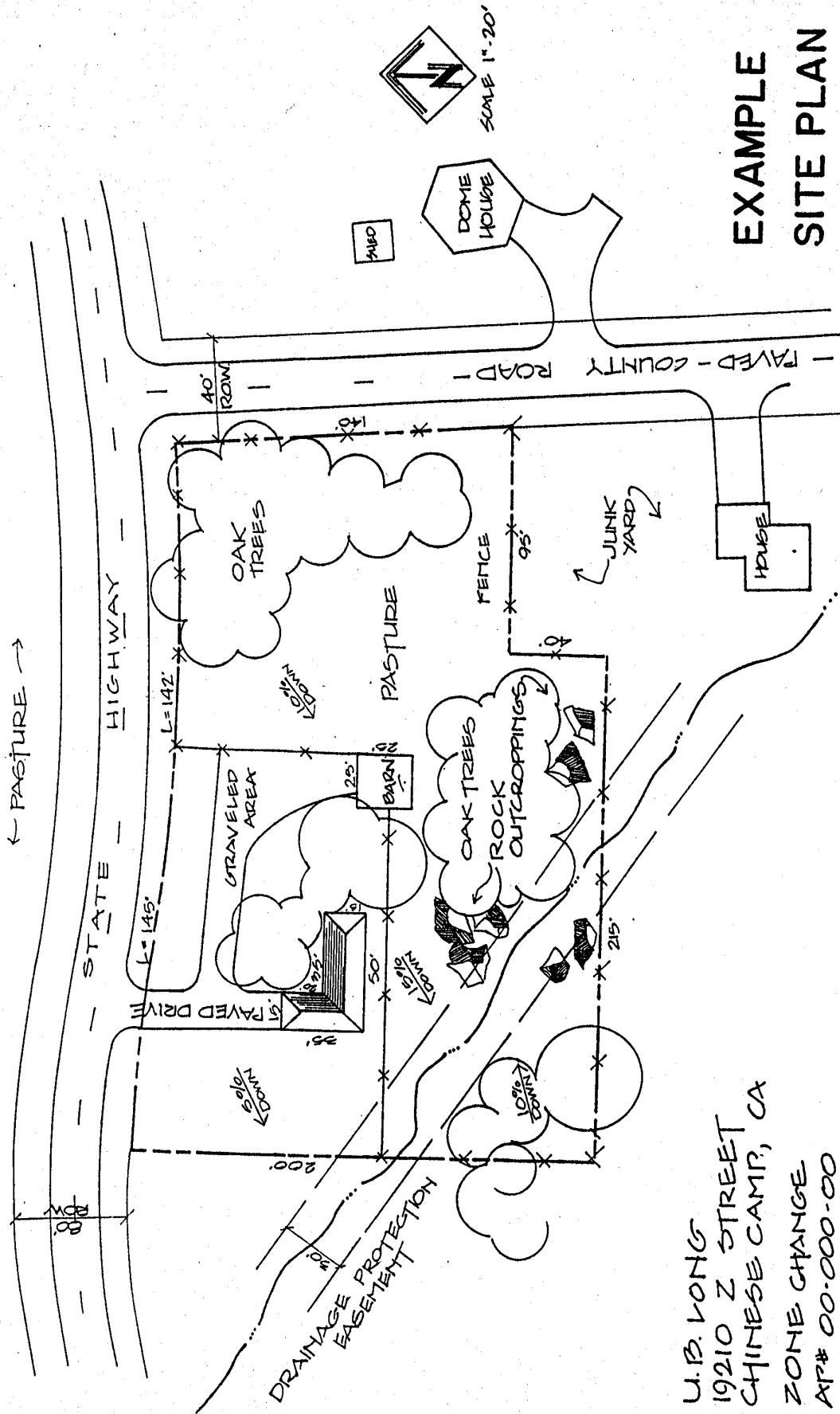
1. Tuolumne County Land Development Application
2. Vicinity Map. Should show nearest intersection and any landmarks. May be drawn at a small scale on the site plan. Identify the location of the attached signs.
3. Site Plan. Requirements are attached to these instructions. Number of copies:_____.
4. Reduced site plan. Number of copies: 1. Size requirement - 8 1/2" X 11".
5. Floor Plans. Number of copies:_____. Submit floor plans for structures to be remolded or constructed. (Not required for applications for only signs).
6. Exterior Elevations. Number of copies:_____. Submit plans of front, rear and side elevations. Indicate proposed colors and materials for siding, roof, doors, windows, etc. Identify the location of attached signs.
7. Reduced exterior Elevations. Number of copies 1. Size requirement - 8 1/2" X 11".
8. Sign Plan. Number of copies:_____. Submit a scale drawing identifying the size, dimensions, material, colors, and text of all signs. A photograph may be submitted for existing signs.
9. Color Palette. Submit color scheme for signs and the exterior of structures. Paint samples are encouraged.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

**DESIGN REVIEW PERMIT
SITE PLAN**

REQUIRED DETAILS

- A. The plan must be drawn in ink on paper of good quality using a minimum size of 8 1/2" x 11" at a scale of 1" equals 20' if the land in question is less than one acre, or at a scale of 1" equals 50' if the land is one acre or larger. If the parcel is too large for the above-mentioned scale, provide a separate map of the entire property at a convenient scale, then provide a larger scale plot plan on a portion thereof, with reference to the overall map.
- B. North arrow and scale used.
- C. Dimensions and area of property.
- D. Slope of the land in % of grades.
- E. Location of all water courses, seasonal drainages, rock outcroppings, unusual vegetation, or other natural features.
- F. Legal access from public roads - include street names, widths of easements, and surface material of roads and driveways.
- G. Location and dimensions of existing on-site improvements such as structures, driveways, parking areas, fences, orchards, mines, pastures, dams, ponds, etc.
- H. Location and dimensions of proposed improvements (distinguish between existing and proposed improvements on the site plan).
- I. Name and address of property owner.
- J. Assessor's Parcel Number.
- K. An 8 1/2" X 11" reduction of the site plan must be submitted along with the scaled plan.

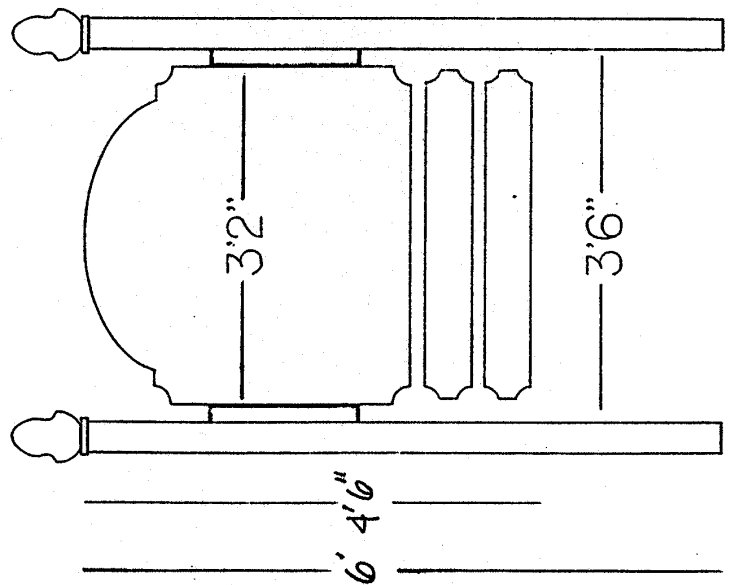
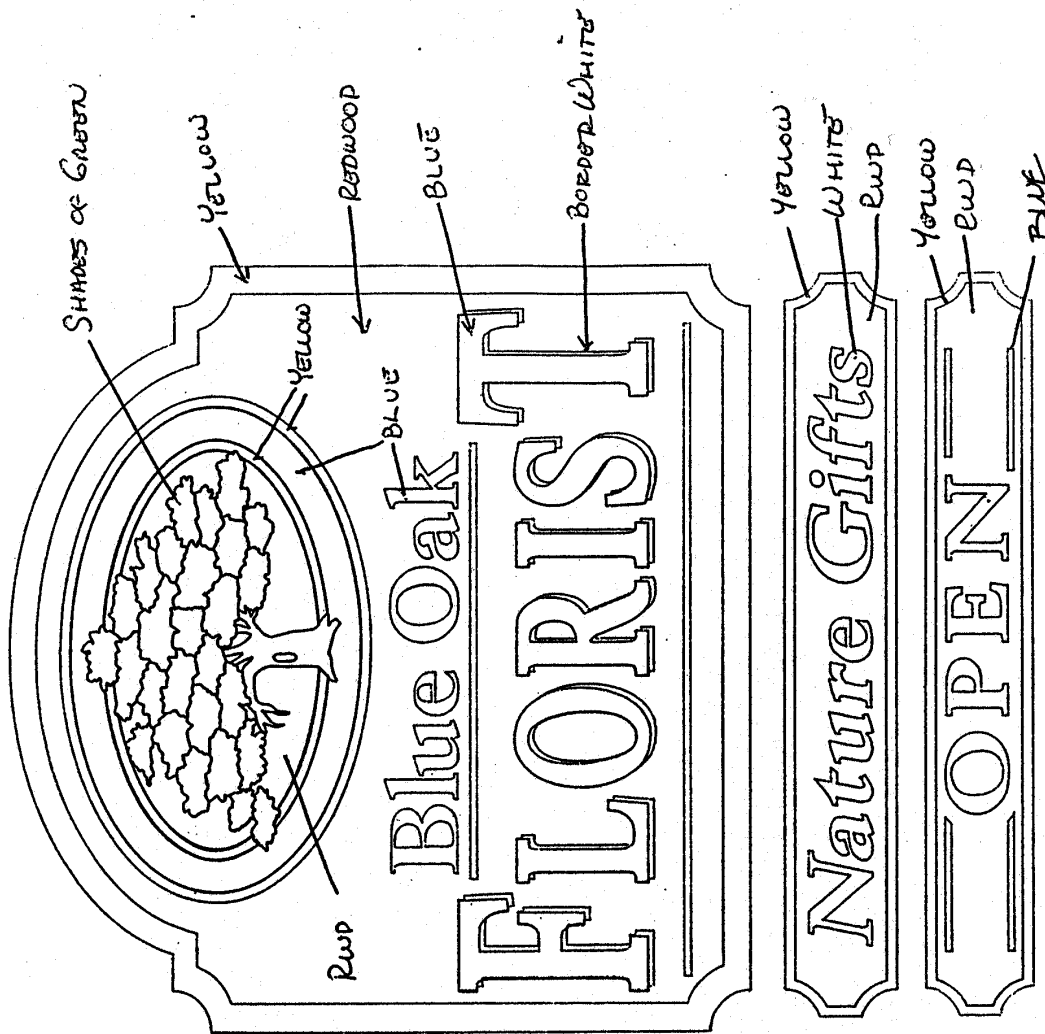


EXAMPLE SITE PLAN

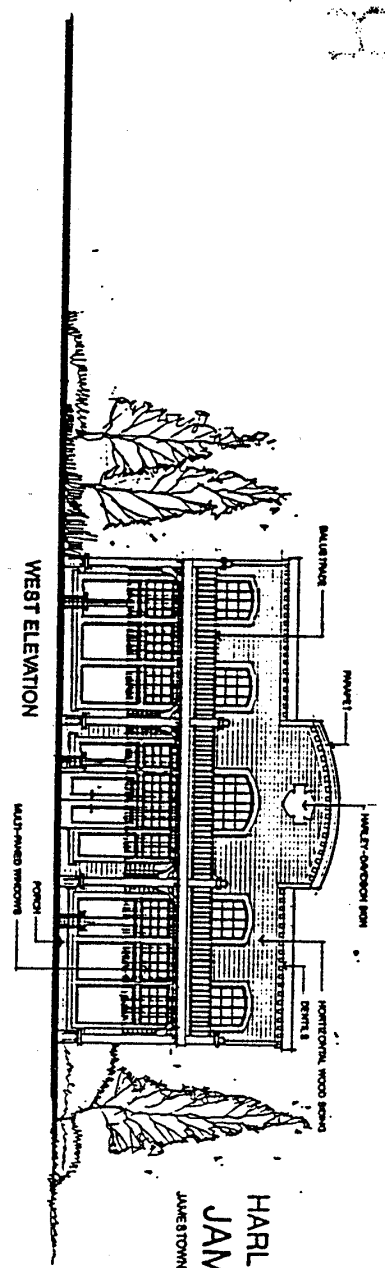
PRE-APPLICATION REVIEW

U.B. LONG
19210 Z STREET
CHINESE CAMP, CA
ZONE CHANGE
AP# 00-000-00

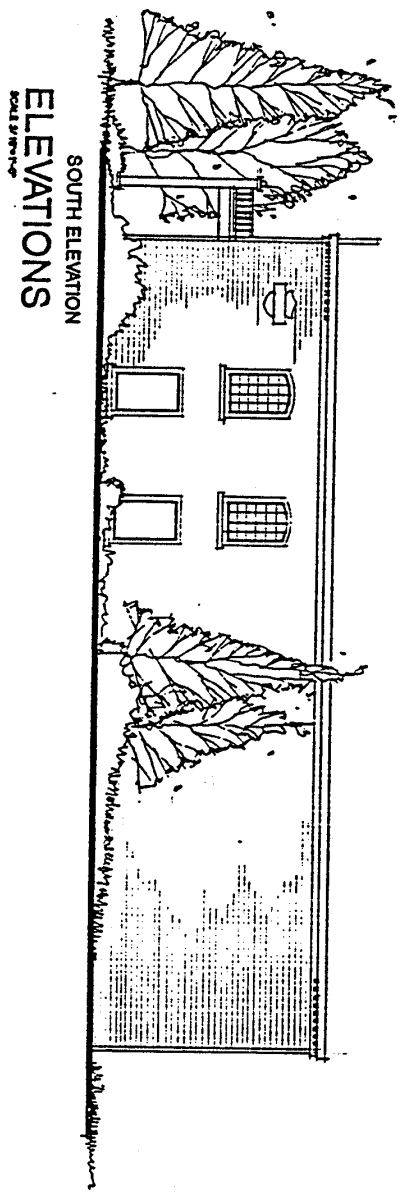
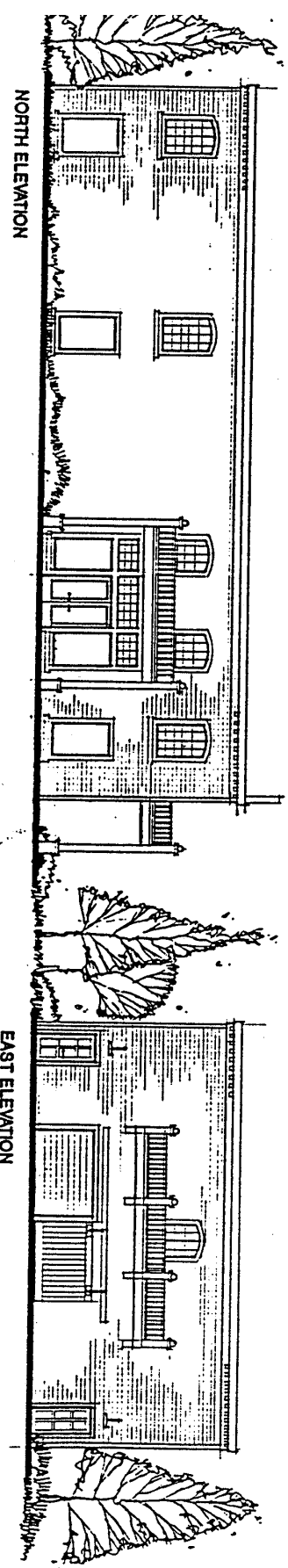
APPLICANT:
 SIGNS-N-SUCH
 916 MONO WAY
 SONORA, CA 95370
 FOR
 BLUE OAK FLORIST
 ELAINE K. DENNIS
 1805 MAIN ST.
 JAMESTOWN, CA 95327



David
B. Jones



HARLEY-DAVIDSON
JAMESTOWN
CALIFORNIA



SAMPLE ELEVATIONS

ARCHITECTURE PLUS, INC.
1001 10th STREET, SUITE 100
JAMESTOWN, CALIFORNIA 95321
PH: 916 877-1881 FAX: 916 877-1881